

# HOME INSPECTION REPORT



8 Wareside Rd  
Toronto

Prepared for: Kevin Alvarez

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: March 29 2016



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\*please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: South*

ROOFING The roof surfaces through-out are overall in good repair.

EXTERIOR Overall well maintained.

STRUCTURE Overall well maintained.

ELECTRICAL The 100 AMP service size is adequate and the wiring is copper. The panel has been upgraded.

HEATING 3-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/  
HEAT PUMPS 3-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/  
VENTILATION Recommend upgrading in the attic to improve comfort and efficiency.

PLUMBING Overall good water pressure with copper and plastic supply piping. The main waste drain includes a backflow valve. The washrooms have been renovated and in good repair.

INTERIOR Overall well maintained.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

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Below Typical

Typical

Above Typical

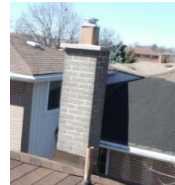
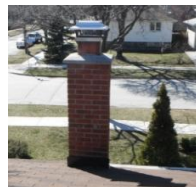
*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Canadian Association of Home and Property Inspectors available online at [www.redbrickinspections.ca](http://www.redbrickinspections.ca).*

Description					
Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:	
Asphalt Shingles:	Slope:	Low	Brick:	West	
			Brick:	North	
Limitations					
Roof Inspected By:	Access Limited By:		Chimney Access Limited By:		
Walking On					
Ref#*	Observations/Recommendations				

Sloped Surface: overall surface in good repair, minor staining observed on underside of lower roof - monitor



Chimney(s): overall surface in good repair



Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

Description			
Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick Stone Vinyl Siding

Limitations
Exterior Inspection from Ground Level

### Observations/Recommendations

WALL SURFACES: overall in good repair

DOORS/WINDOWS: overall in good repair




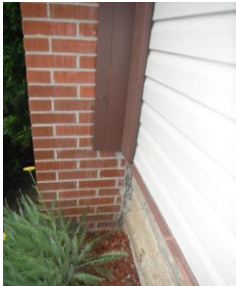
ATTACHED GARAGE: car door opener requires repair  
portion of floor has been repaired on west side

\*\*Walk(s): seal gaps at wall around perimeter to minimize moisture in basement



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Form

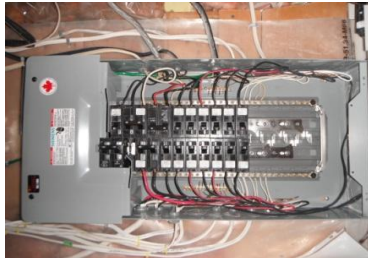
Description				
Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Masonry Block	Wood Joists	Masonry (Double-Brick)	Wood Rafters/Joists
Crawl Space:			Wood Frame (Siding)	
Limitations				
Restricted Access to:	Foundation Wall Not Visible: <u>75</u> %			
Wall Space	Roof Space Inspected From Access Hatch Crawlspace Entered but access was limited			
Observations/Recommendations				
<p>FOOTINGS/FOUNDATIONS <a href="#">minor settlement cracks in some areas</a></p> <p>WALLS:</p> <p>Masonry: <a href="#">minor cracks on north side and southeast garage, overall not unusual</a></p> <div style="display: flex; justify-content: space-around;">   </div> <p>ROOF:</p> <p>Roof Sheathing: <a href="#">staining, mildew/mold on north side above washroom</a> <a href="#">Environmental Consultants can assist if this is a concern</a></p>  <p>CHIMNEY(s): <a href="#">west unit appears to be anchored to house possibly due to settlement-monitor</a></p> 				

**Description**

Service Size: <b>100</b>	AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box		Location: <b>Overhead</b>	<b>Copper</b>
Rating: <b>100</b> AMP		Type of material: <b>Not Visible</b>	<b>Grounded &amp; Ungrounded</b>
Description: <b>Breakers</b>			
Location: <b>Basement</b>			
Distribution Panel	System Grounding:		
Rating: <b>100</b> AMP	Description: <b>Copper</b>		
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:	
Location: <b>Basement</b>		Location: <b>Outside</b>	
Auxiliary Panel(s):	Outlets		<b>Bathroom(s)</b>
Rating: AMP	Description: <b>Grounded/Ungrounded</b>		
Description:	Number of Outlets: <b>Minimal</b>	Arc Fault Circuit Interrupter:	
Location:		Location:	

**Limitations****Main Disconnect Cover Not Removed**

Ref#\*

**Observations/Recommendations**SERVICE PANEL: **upgraded**

Ungrounded Outlet(s): **some units**  
 provide GFCI's (ground fault circuit interrupters)

BRANCH WIRING: **exterior rear - wire prone to foot damage**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labeling on panels.

Description						
Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	High	69 x1000BTU/hr	3 yrs.	20 yrs.	Gas	Meter-Exterior
Exhaust Vent Arrangement: Plastic Through-Wall Vent						
Limitations					Furnace Performance	
Heat Loss Calculations Not Done					Supply Temp F:	130
Heat Exchanger- Inaccessible					Return Temp F:	70
Ref#*	Observations/Recommendations					

FORCED AIR FURNACE: service annually









Registers: front door entrance - unusual location - prone to damage

Gas Meter: rusting piping at exterior meter - call utility

Description			
Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	3 yrs. old	15 yrs.
Limitations		Cooling Performance	
Cannot Test With Low Outdoor Temp		Supply Temp F:	
		Return Temp F:	
Ref#*	Observations/Recommendations		
	AIR CONDITIONER: not tested: should be serviced before using breaker should be in on position 24 hrs before using A/C		



Description				
Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Fiberglass:	Main Roof:	18	Kraft Paper	Roof
Fiberglass:	2nd Roof:	18		
Limitations				
Roof Space Inspected from Access Hatch				
Ref#*	Observations/Recommendations			
	ROOF SPACE: low insulation, uneven in some areas, recommend upgrading and installing soffit vents			
	Roof Access Hatch: insulate and weather-strip access hatch to roof space			
	<div></div>			
	Exhaust Fan Vents: recommend insulation kitchen vent, remove abandoned duct			
	<div></div>			
Note: adding insulation is considered an improvement rather than a repair				

8 Wareside Rd		<b>PLUMBING</b>				March 29 2016		page 9	
<b>Description</b>									
Service Piping into House:		Main Shut Off Valve at:		Water Flow (Pressure):					
Copper		Basement		Adequate					
Supply Piping & Pump(s):		Waste Piping & Pump(s):		Water Heater					
Copper		Plastic							
Plastic		Cast Iron		Type: Conventional					
		Copper		Fuel Type: Gas					
				Capacity: 40 Gal					
				Age Yrs.: 3					
				Life Expectancy: 15					
<b>Limitations</b>									
Isolating/Relief Valves & Main Shut Off Valves Not Tested				Concealed Plumbing not Inspected					
Kitchen and Laundry Appliances Were Not Inspected				Tub/Sink Overflows Not Tested					
<b>Observations/Recommendations</b>									
<p>WASTE PIPING:</p> <p>Basement Floor Drain: not found - further evaluation required, also none found for crawl space</p> <p>Laundry Floor Drain: as above</p> <p>Piping: main waste drain includes a newer backflow valve</p> <div data-bbox="587 1052 958 1310">  </div> <p>Washroom(s): overall in good repair, basement recently renovated</p> <p>Kitchen(s) overall in good repair</p>									

**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Drywall	Drywall	Single/Double Hung	Metal
Carpet			Fixed	French
Resilient			Casement	
Fireplaces:	Fireplace Fuel:			
Masonry	Wood			

**Limitations**

Restricted/No Access To: \_\_\_\_\_ Foundation Not Visible 75 %  
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible

Ref#\*

**Observations/Recommendations**

Floors/Walls/Ceilings: overall in good repair, minor cracks in master bedroom ceiling  
Trim/Cabinets/Counters: overall in good repair

Windows/Doors: overall in good repair, dining room window requires repair

STAIRS: improve rails for safety

FIREPLACE: recommend chimney sweep/inspection by W.E.T.T. Certified technician  
(www.wettinc.ca)

\*\*Basement Leakage: presently no concerns, see Steps below

CO/Smoke detectors: smoke detector on 2nd level hall ceiling should be centrally located

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life  
safety concern and mandatory by law

\*\* Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort should leaking persist



### **Bob Papadopoulos P.Eng, RHI**

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- **Over 14 years of building inspecting experience in Toronto and the GTA**
- **Over 4,000 residential and commercial buildings inspected**

Bob has inspected over 4,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Certified Energy Auditor
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