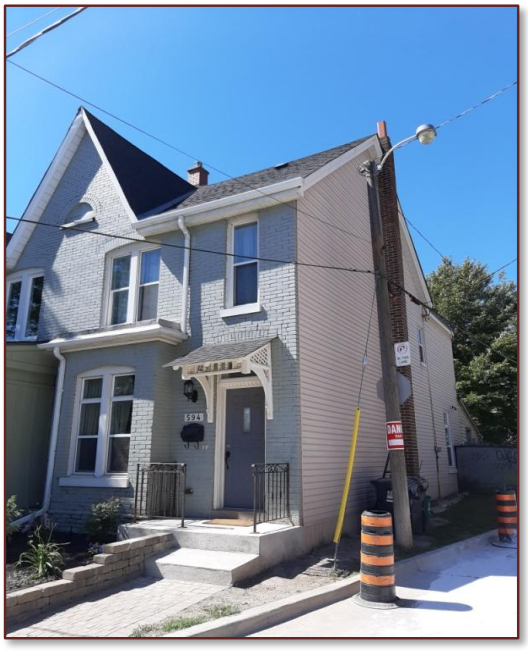
HOME INSPECTION REPORT



594 Indian Grove

Toronto

Prepared for: Kevin Alvarez

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Aug 25 2020

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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

*please see credentials at end of report

SIGNIFICANT ITEMS

This page should not be considered as the complete report. Please read all other forms contained within the Home Inspection Report

For the purposes of this report, the front of the house is considered to be facing: East

ROOFING	The roof surfaces through-out are overall in good repair.
EXTERIOR	Overall well maintained.
STRUCTURE	Budget for repairs/improvements in the crawl spaces - see details
ELECTRICAL	The 100 AMP service size is adequate and the wiring has been upgraded to copper grounded.
HEATING	20-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-25-yrs.
COOLING/ HEAT PUMPS	14-yr-old air-conditioner with a typical life expectancy of 15-20-yrs.
INSULATION/ VENTILATION	Restricted access to roof and wall spaces therefore insulation not determined. Crawlspace improvements recommended.
PLUMBING	The water main has been upgraded to copper and the supply piping in the house is copper and plastic with good water pressure overall. Some upgrades to main waste drains. The washrooms and kitchens are in good repair.
INTERIOR	Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

☐ ☐ ☐ ☐ ✓ ☐ ☐ ☐ ☐

Below Typical Typical Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at www.redbrickinspections.ca http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf

Description

Roofing Material:	Location:	Leakage Probability:	Chimney(s) Type:	Location:
Asphalt Shingles:	Slope:	Low	Brick Abandoned:	South
Modified Bitumen:	Flat:	Low		

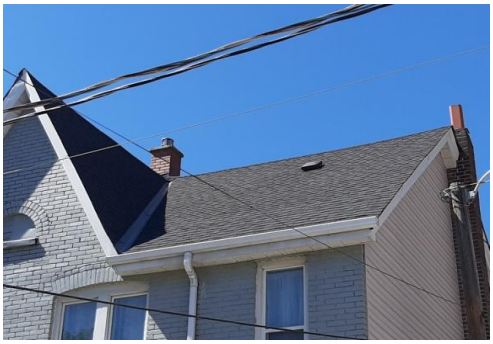
Limitations

Roof Inspected By:	Access Limited By:	Chimney Access Limited By:
Binoculars Walking On From Edge		

Observations/Recommendations

Sloped Surface: overall surface in good repair

Flat Surface: overall surface in good repair



Skylight(s): overall in good repair

Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

Description

Gutters & Downspouts:	Downspout(s) Discharge:	Lot Topography:	Walls & Wall Structures:
Aluminum:	Various Above Grade	Flat	Brick Vinyl Siding Wood siding

Limitations

Exterior Inspection from Ground Level

Observations/Recommendations

WALL SURFACES:

Brick: overall in good repair, monitor for mortar repairs as required

Vinyl Siding: overall in good repair

Wood siding: requires general repairs and maintenance

PORCH overall in good repair

Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Form

Description

Configuration:	Foundations:	Floor :	Walls :	Roof/Ceiling Framing:
Basement:	Brick	Wood Joists	Wood Frame (Siding)	No Access
	Masonry Block		Wood Frame(Brick Veneer)	
Crawl Space:	Brick			
	Not Visible			

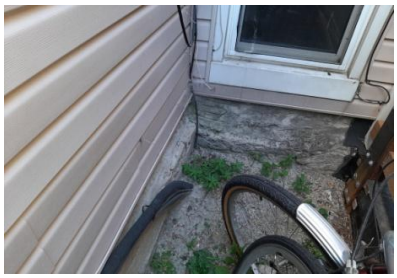
Limitations

Restricted Access to:	Foundation Wall Not Visible: 90 %	
Wall Space	Crawlspace Inspected From Access Hatch	:limited view of perimeter
Roof Space		see below
Roof Space		

Observations/Recommendations

FLOORS: west crawlspace: wood framing is at or below grade which can lead to rot, although this is an older condition recommend budgeting to excavate around exterior perimeter for further evaluation and repair of framing, also install concrete sill with damp-proofing, it was noted that concrete has been installed around south portion to minimize wood soil contact





Wood Column: west crawlspace: floor has been 'shored up' though overall low quality, monitor performance - budget to replace as above

FLOORS: east crawlspace: framing is above grade, overall in good repair as observed from crawlspace

FOUNDATIONS: east crawlspace: typical mortar deterioration, older condition, budget for repairs


Stair Opening: basement: shored up - typical, 2nd level- typical sagging

Description

Service Size: 100 AMP (240volts)

Main Disconnect/Service Box
Rating: 100 AMP
Description: Breakers
Location: Basement

Distribution Panel
Rating: 100 AMP
Description: Breakers
Location: Basement

Auxiliary Panel(s):
Rating: AMP
Description:
Location:

Service Entrance Cable:
Location: Overhead
Type of material: Not Visible

System Grounding:
Description: Copper
Location: Water Pipe

Outlets
Description: Grounded
Number of Outlets:

Distribution Wire:
Copper
Grounded

Ground Fault Circuit Interrupter:
Location: Outside Kitchen Bathroom(s)

Arc Fault Circuit Interrupter:
Location:

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

Ref#*

SERVICE PANEL: overall in good repair

BRANCH WIRING: based on random sampling it was determined the wiring has been upgraded throughout

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

Description

Description:	Efficiency:	Rated Input:		Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Hot Water Boiler:	High	75	x1000BTU/hr	20 yrs.	20+ yrs.	Gas	Meter-Exterior
Electric Heater(s):							

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations

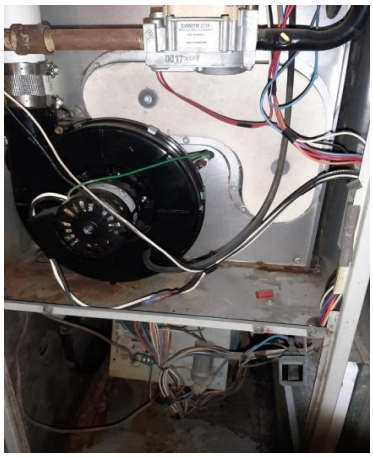
Heat Loss Calculations Not Done

A/C Presently Operating

Heat Exchanger- Inaccessible

Ref#* **Observations/Recommendations**

FORCED AIR FURNACE: continue servicing until replacement becomes necessary



Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	14 yrs. old	15 to 20 yrs.

Limitations

Cooling Performance	
Supply Temp F:	55
Return Temp F:	70

Observations/Recommendations

Ref#*

AIR CONDITIONER: aging unit, continue servicing until replacement becomes necessary

Description

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Mineral Wool:	Crawl Space Floor:	12	Not Visible	Roof Soffit

Limitations

Access Not Gained To Wall Space
Access Not Gained To Roof Space
Access Not Gained To Flat Roof
Crawlspace Viewed From Access Hatch

Observations/Recommendations

Ref#*

Crawlspace Floor: remove debris, install moisture barrier over soil

WALLS: consider installing spray foam insulation around perimeter to reduce heat loss

FLOORS: crawlspace: some areas of main level floor have been insulated

Pipes: Unheated Areas: crawlspace: insulate supply pipes to minimize risk of freezing and/or install heating cable to pipes

Note: adding insulation is considered an improvement rather than a repair R-values are estimated

Description

Service Piping into House:
Copper

Main Shut Off Valve at:
Basement

Water Flow (Pressure):
Good

Supply Piping & Pump(s):
Copper
Plastic

Waste Piping & Pump(s):
Plastic
Cast Iron

Water Heater
Type: Induced Draft
Fuel Type: Gas
Capacity: 40 Gal
Age Yrs.: 1
Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested
Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected
Tub/Sink Overflows Not Tested

Observations/Recommendations

Ref#*

WATERMAIN: upgraded to copper

SUPPLY PIPING:
Galvanized Steel: some in basement: replace and install faucet on exterior wall

WASTE PIPING:
Basement Floor Drain: none: budget to install with sump pump

Washroom(s): overall in good repair
Kitchen(s) overall in good repair

Description

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Plaster/Drywall	Plaster/Drywall	Single/Double Hung	Metal
Ceramic Tile			Casement	
Laminate			Double Glazing	

Fireplaces: Fireplace Fuel:

Limitations

Restricted/No Access To: Foundation Not Visible 90 %

CO Detectors,Security Systems,Central Vacuum,Chimney Flues Not Inspected Drainage Tile Not Visible

Storage/Furnishings in Some Areas Limited Inspection

Observations/Recommendations

Ref#*

Floors/Walls/Ceilings: overall in good repair

Trim/Cabinets/Counters: overall in good repair

Windows/Doors: upgraded double glazed units

**Crawlspace Leakage: typical efflorescence, staining and dampness for older foundation

see steps below

**Basement Leakage: it appears the basement has been damp-proofed which will minimize moisture

CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law

** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior
2. cracks/form ties on foundation: monitor/repair as required
3. excavation/damp-proofing: monitor basement, consider step 3 as a last resort

Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf

REDBRICK
INSPECTIONS LTD.

Bob Papadopoulos P.Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

• P.Eng. (Professional Engineer of Ontario)	http://www.peo.on.ca/
• RHI Registered Home Inspector	http://www.oahi.com/
• Environmental Site Assessment: ESA Phase 1 Certified	http://aesac.ca/