

HOME INSPECTION REPORT



3397 Eglinton Ave W
Mississauga

Prepared for: Kevin Alvarez

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Inspection Date: Dec 29 2014



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* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms and appropriate Reference#
in the Home Reference Book.*

*For the purposes of this report,
the front of the house is considered
to be facing: South*

ROOFING 10-yr-old asphalt shingles with a typical life expectancy of 15-20-yrs.

EXTERIOR Overall well maintained.

STRUCTURE Overall well built house

ELECTRICAL The 100 AMP service size is adequate and the wiring is copper.

HEATING 10-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-yrs.

COOLING/
HEAT PUMPS 10-yr-old air-conditioner with a typical life expectancy of 15-yrs.

INSULATION/
VENTILATION Limited access though where spot checked appears to be adequate.

PLUMBING Overall good water pressure with plastic supply piping. The kitchen has recently been renovated.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical Typical Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Canadian Association of Home and Property Inspectors available online at www.redbrickinspections.ca.

Description			
1.0 Roofing Material: Asphalt Shingles:	Location: Slope:	4.0 Leakage Probability: Low	3.0 Chimney(s) Type: Location: None:

Limitations		
Roof Inspected By: Binoculars	Access Limited By: Height	Chimney Access Limited By:

Ref#*	Observations/Recommendations
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1.0 Roofing:	Sloped Surface: overall in good repair, appears to have had prior leaking at front though present owners report no leaking for 5-yrs, area should be monitored, providing caulking along valley edges should be considered to minimize risk
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loose shingle at rear garage



Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney(s)

Description

1.0 Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Below Grade	2.0 Lot Topography: Flat	3.0 Walls & 9.0 Wall Structures: Brick
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Limitations

Exterior Inspection from Ground Level
Storage in Garage

Ref#* Observations/Recommendations

3.0 WALL SURFACES: overall in good repair, minor hairline cracks at front



4.0 DOORS/WINDOWS: minor caulking repairs required at front



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

** Any or all these items may contribute to **Basement Leakage**. Please see Interior Form

Description				
2.0 Configuration: Basement:	4.0 Foundations: Poured Concrete	5.0 Floor : Wood Joists	6.0 Walls : Wood Frame(Brick Veneer)	7.0 Roof/Ceiling Framing: Wood Trusses Frame/Drywall Party Wall

Limitations	
Restricted Access to: Wall Space	Foundation Wall Not Visible: <u>95</u> % Roof Space Inspected From Access Hatch

Ref#*	Observations/Recommendations
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FOOTINGS/FOUNDATIONS [minor/typical settlement cracks](#)

7.0 ROOF: [overall in good repair](#)



Description			
2.3 Service Size: 100 AMP (240volts)	2.2 Service Entrance Cable:	4.0 Distribution Wire:	
2.4 Main Disconnect/Service Box	Location: Underground	Copper	
Rating: 100 AMP	Type of material: Not Visible		
Description: Breakers			
Location: Basement			
3.0 Distribution Panel	2.5 System Grounding:		
Rating: 100 AMP	Description: Copper		
Description: Breakers	Location: Water Pipe	2.5 Ground Fault Circuit Interrupter:	
Location: Basement		Location: Outside	
Auxiliary Panel(s):	5.1 Outlets	Bathroom(s)	
Rating: AMP	Description: Grounded		
Description:	Number of Outlets: Typical	3.5 Arc Fault Circuit Interrupter:	
Location:		Location: Panel-Bedrooms	

Limitations

Main Disconnect Cover Not Removed

Ref#* Observations/Recommendations

3.0 SERVICE PANEL: overall in good repair



Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labeling on panels.

Description

Description: Efficiency: Rated Input: Approx. Age: Life Expectancy: 2.0 Fuel: Shut Off at:
Forced Air Furnace: High 60 x1000BTU/hr 10 yrs. 20 yrs. Gas Meter-Exterior

Exhaust Vent Arrangement: Plastic Through-Wall Vent

Limitations **Furnace Performance**

Heat Loss Calculations Not Done
Heat Exchanger- Inaccessible
Supply Temp F: 110
Return Temp F: 70

Ref#* **Observations/Recommendations**

5.0 FORCED AIR FURNACE: service annually



Description			
1.0 Description:	1.4 Cooling Capacity:	1.5 Approx. Age:	Typical Life Expectancy:
1.0 Air Conditioner (air-cooled):	18 x1,000 BTU/hr	10 yrs. old	15 yrs.

Limitations	Cooling Performance
Cannot Test With Low Outdoor Temp	Supply Temp F: Return Temp F:

Ref#*	Observations/Recommendations
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1.0 AIR CONDITIONER: not tested: should be serviced before using



Description				
2.0 Material:	3.0 Location	R-Value	5.0 Air/Vapour Barrier:	6.1 Venting:
Cellulose:	Main Roof:	32	Plastic	Roof Roof Soffit

Limitations

Roof Space Inspected from Access Hatch
Basement Walls Spot Checked Only

Ref#*	Observations/Recommendations
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3.0 ROOF SPACE: insulation and ventilation is adequate



Note: adding insulation is considered an improvement rather than a repair



Description

1.0 Service Piping into House: Copper	1.3 Main Shut Off Valve at: Basement-Front	Water Flow (Pressure): Good
1.4 Supply Piping&Pump(s): Copper	2.0 Waste Piping&Pump(s): Plastic	1.6 Water Heater Type: Induced Draft Fuel Type: Gas Capacity: 40 Gal Age Yrs.: 10 Life Expectancy: 15

Limitations

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

Ref#*


Observations/Recommendations

Washroom(s): overall in good repair
 Kitchen(s) overall in good repair

1.6 WATER HEATER: rusting at top of unit due to prior leaking pipe connection
 contact utility to upgrade - if required

Description				
1.0 Floor Finishes: Wood Carpet Ceramic Tile	2.0 Wall Finishes: Drywall	3.0 Ceiling Finishes: Drywall	6.0 Windows: Casement Fixed	7.0 Exterior Doors: Metal
8.0 Fireplaces: Zero Clearance	9.0 Fireplace Fuel: Gas			

Limitations	
Restricted/No Access To: _____ CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Storage/Furnishings in Some Areas Limited Inspection	Foundation Not Visible <u>95</u> % Drainage Tile Not Visible

Ref#*	Observations/Recommendations
	1.0 Floors/2.0 Walls/3.0 Ceilings: overall in good repair 4/5.0 Trim/Cabinets/Counters: overall in good repair
	**10.0 Basement Leakage: the foundation has been damp-proofed to minimize risk of basement leaking presently no concerns, see Steps below prior crack repair noted in furnace room
	

11. CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law
** Steps recommended in order to minimize basement leakage (read Section 10):
1. gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior



Bob Papadopoulos P.Eng, RHI

- **Over 14 years of building inspecting experience in Toronto and the GTA**
- **Over 4,000 residential and commercial buildings inspected**

Bob has inspected over 4,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario)
- RHI Registered Home Inspector
- Certified Energy Auditor

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