

# HOME INSPECTION REPORT



2249 Bostock Cres

Toronto

Prepared for: [Kevin Alvarez](#)

Prepared by: Bob Papadopoulos P.Eng., RHI \*

Inspection Date: Aug 31 2021



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Please Read: [http://redbrickinspections.ca/docs/1\\_Introduction\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf)

Please Read Terms and Conditions:  
<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

\*please see credentials at end of report

## SIGNIFICANT ITEMS

*This page should not be considered as the complete report.  
Please read all other forms contained within the Home  
Inspection Report*

*For the purposes of this report,  
the front of the house is considered  
to be facing: South*

ROOFING      Approx 5-10-yr-old high quality asphalt shingles with a typical life expectancy of over 20-  
yrs.

EXTERIOR      Overall well maintained.

STRUCTURE      Overall well built house.

ELECTRICAL      The 100 AMP service size is adequate and the wiring is copper grounded.

HEATING      20-yr-old mid-efficiency forced-air gas furnace with a typical life expectancy of 20-25-yr.

COOLING/  
HEAT PUMPS      The air-conditioner is older. Continue servicing until replacement becomes necessary.

INSULATION/  
VENTILATION      The insulation in the attic has been upgraded which will improve comfort and efficiency.

PLUMBING      Overall good water pressure with copper and plastic supply piping. The washrooms and  
kitchen have been renovated and in good repair.

INTERIOR      Overall well maintained. Doors and windows have been upgraded.

## OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.

Below Typical

Typical

Above Typical

*Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at [www.redbrickinspections.ca](http://www.redbrickinspections.ca) <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>*

Description				
Roofing Material: Asphalt Shingles:	Location: Slope:	Leakage Probability: Low	Chimney(s) Type: Brick: Brick:	Location: West East

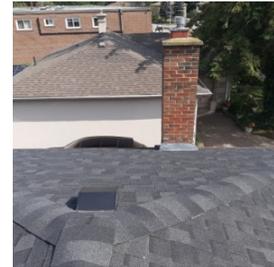
Limitations		
Roof Inspected By: Walking On	Access Limited By:	Chimney Access Limited By:

**Observations/Recommendations**

Sloped Surface: [overall surface in good repair](#)



Chimney(s): [overall in good repair](#)



Comments: [older roof shingles were not removed which might reduce life expectancy of newer shingles](#)



**Description**

Gutters & Downspouts: Aluminum:	Downspout(s) Discharge: Various Above Grade	Lot Topography: Flat	Walls & Wall Structures: Brick
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**Limitations**

Exterior Inspection from Ground Level

**Observations/Recommendations**

WALL SURFACES: overall in good repair  
DOORS/WINDOWS: overall in good repair



PORCH overall in good repair

\*\*Walk(s): repair loose paver



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

\*\* Any or all these items may contribute to **Basement Leakage**. Please see Interior Page

REFERENCE LINK

[http://redbrickinspections.ca/docs/4\\_Structure\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/4_Structure_Reference_Guide.pdf)

2249 Bostock Cres

# STRUCTURE

Aug 31 2021

page 4

## Description

Configuration: Basement:	Foundations: Masonry Block	Floor : Wood Joists	Walls : Wood Frame(Brick Veneer)	Roof/Ceiling Framing: Wood Rafters/Joists
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## Limitations

Restricted Access to: Wall Space	Foundation Wall Not Visible: <u>90</u> % Roof Space Inspected From Access Hatch
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## Observations/Recommendations

overall well built house

ROOF: overall in good repair



**Description**

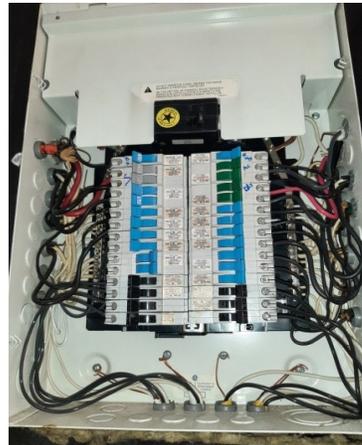
Service Size: <b>100</b> AMP (240volts)	Service Entrance Cable:	Distribution Wire:
Main Disconnect/Service Box	Location: <b>Underground</b>	<b>Copper</b>
Rating: <b>100</b> AMP	Type of material: <b>Not Visible</b>	<b>Grounded</b>
Description: <b>Breakers</b>		
Location: <b>Basement</b>		
Distribution Panel	System Grounding:	
Rating: <b>100</b> AMP	Description: <b>Copper</b>	
Description: <b>Breakers</b>	Location: <b>Water Pipe</b>	Ground Fault Circuit Interrupter:
Location: <b>Basement</b>		Location: <b>Kitchen</b>
Auxiliary Panel(s):	Outlets	<b>Bathroom(s)</b>
Rating: AMP	Description: <b>Grounded</b>	
Description:	Number of Outlets: <b>Typical</b>	Arc Fault Circuit Interrupter:
Location:		Location:

**Limitations**

**Main Disconnect Cover Not Removed**

**Observations/Recommendations**

SERVICE PANEL: overall in good repair



GFCI: provide to exterior outlet

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK [http://redbrickinspections.ca/docs/6\\_Heating\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf)

2249 Bostock Cres

# HEATING

Aug 31 2021

page 6

## Description

Description:	Efficiency:	Rated Input:	Approx. Age:	Life Expectancy:	Fuel:	Shut Off at:
Forced Air Furnace:	Mid	60 x1000BTU/hr	20 yrs.	20+ yrs.	Gas	Meter-Exterior

Exhaust Vent Arrangement: [Metal Through Masonry Chimney](#)

## Limitations

<a href="#">Heat Loss Calculations Not Done</a>	<a href="#">A/C Presently Operating</a>
<a href="#">Heat Exchanger- Inaccessible</a>	

## Observations/Recommendations

FORCED AIR FURNACE: [continue servicing until replacement becomes necessary](#)



Registers: [insulation around some registers may contain asbestos](#)  
[encapsulating the insulation is often the best approach](#)  
[Environmental Consultants can assist if this is a concern](#)



REFERENCE LINK

[http://redbrickinspections.ca/docs/7\\_AC\\_Heat\\_Pump\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf)

2249 Bostock Cres

## COOLING/Heat Pumps

Aug 31 2021

page 7

### Description

Description:	Cooling Capacity:	Approx. Age:	Typical Life Expectancy:
Air Conditioner (air-cooled):	24 x1,000 BTU/hr	25 yrs. old	15 to 20 yrs.

### Limitations

#### Cooling Performance

Supply Temp F:	55
Return Temp F:	70

### Observations/Recommendations

AIR CONDITIONER: **old unit, continue servicing until replacement becomes necessary**



**Description**

Material:	Location	R-Value	Air/Vapour Barrier:	Venting:
Cellulose:	Main Roof:	50	Not Visible	Roof
Fiberglass:	Basement Walls:	12	Plastic Kraft Paper	

**Limitations**

Roof Space Inspected from Access Hatch                      Basement Walls Spot Checked Only  
 Access Not Gained To Wall Space

**Observations/Recommendations**

ROOF SPACE: insulation has been upgraded which will improve comfort and efficiency



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

**Description**

Service Piping into House: Copper	Main Shut Off Valve at: Basement	Water Flow (Pressure): Good
Supply Piping & Pump(s): Copper Plastic	Waste Piping & Pump(s): Plastic Copper Clay Floor Drain	Water Heater Type: Conventional Fuel Type: Gas Capacity: 40 Gal Age Yrs.: 2 Life Expectancy: 20

**Limitations**

Isolating/Relief Valves & Main Shut Off Valves Not Tested	Concealed Plumbing not Inspected
Kitchen and Laundry Appliances Were Not Inspected	Tub/Sink Overflows Not Tested

**Observations/Recommendations**

WATERMAIN: should be more accessible - obstructed by washer/dryer

SUPPLY PIPING: all piping examined was in good repair

WASTE PIPING: all piping examined was in good repair

Basement Floor Drain: main drain to city sewer- recommend video-scan

Washroom(s): overall in good repair

Kitchen(s) overall in good repair

Comments: basement: boxed in pipes causing mould - remove cover, mould treat/clean interior of box - overall minor



**Description**

Floor Finishes:	Wall Finishes:	Ceiling Finishes:	Windows:	Exterior Doors:
Wood	Drywall	Drywall	Single/Double Hung	Metal
Ceramic Tile		Paneling	Casement	
			Sliders	
			Fixed	
Fireplaces:	Fireplace Fuel:		Double Glazing	
Insert	Gas			

**Limitations**

Restricted/No Access To: excessive storage Foundation Not Visible 90 %  
CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected Drainage Tile Not Visible  
Storage/Furnishings in Some Areas Limited Inspection

**Observations/Recommendations**

Ceilings: **basement: stains tested dry**  
Floors/Walls/Ceilings: **overall in good repair**

Trim/Cabinets/Counters: **overall in good repair**

Windows/Doors: **overall in good repair**

STAIRS: **provide spindles to hand rails - basement steps**

FIREPLACE: **service annually**

**\*\*Basement Leakage: presently no leaking detected with moisture meter random sampling**

CO/Smoke detectors: **please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law**

**\*\*** Steps recommended in order to minimize basement leakage

1. gutters, downspouts, grading, driveways: **ongoing maintenance and repair/see Exterior**
2. cracks/form ties on foundation: **monitor/repair as required**
3. excavation/damp-proofing: **monitor basement, consider step 3 as a last resort**

Environmental/Health Concerns: [http://redbrickinspections.ca/docs/11\\_Environmental\\_Reference\\_Guide.pdf](http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf)



## **Bob Papadopoulos P.Eng, RHI**

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- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

### **Professional Designations**

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
  - RHI Registered Home Inspector <http://www.oahi.com/>
  - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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