

HOME INSPECTION REPORT



18 Captain Rolph Blvd
Markham

Prepared for: Kevin Alvarez

Prepared by: Bob Papadopoulos P.Eng., RHI *

Inspection Date: Apr 6 2021



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Please Read: http://redbrickinspections.ca/docs/1_Introduction_Reference_Guide.pdf

Please Read Terms and Conditions:
<http://redbrickinspections.ca/wp-content/uploads/2017/01/Redbrick-Inspections-TC-2017.pdf>

* please see credentials at end of report

SIGNIFICANT ITEMS

*This page should not be considered as the complete report.
Please read all other forms contained within the Home
Inspection Report*

*For the purposes of this report,
the front of the house is considered
to be facing: South*

ROOFING Approx 10-yr-old high quality asphalt shingles with a typical life expectancy of 30-yrs.
Presently requires repairs- see details.

EXTERIOR Older deck. See details for general repairs and maintenance.

STRUCTURE Overall well built house

ELECTRICAL The 200 AMP service size is adequate. In addition to copper wiring there is aluminum
wiring - see details.

HEATING 20-yr-old high-efficiency forced-air gas furnace with a typical life expectancy of 20-25-yrs.

COOLING/
HEAT PUMPS The air-conditioner is older. Continue servicing until replacement becomes necessary.

INSULATION/
VENTILATION Roof space insulation and ventilation is adequate

PLUMBING Overall good water pressure with copper supply piping. The washrooms and kitchen are
overall in good repair.

INTERIOR Overall well maintained.

OVERALL RATING

The following rating reflects both the original quality of construction and the *overall* current condition of the home, based on a comparison to *similar* homes.



Below Typical

Typical

Above Typical

Prior to reviewing the Home Inspection Report please read the Terms and Conditions of the Home Inspection and the Standards of Practice of the Ontario Association of Home and Property Inspectors available online at www.redbrickinspections.ca <http://redbrickinspections.ca/wp-content/uploads/2015/06/StandardsofPractice-OAHI-Rev.pdf>

| | | | | |
|----------------------------------------|---------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|------------------------|
| REFERENCE LINK | | http://redbrickinspections.ca/docs/2_Roofing_Reference_Guide.pdf | | |
| 18 Captain Rolph Blvd | | ROOFING/Chimneys | | Apr 6 2021 |
| Description | | | | |
| Roofing Material: Asphalt Shingles: | Location: Slope: | Leakage Probability: Medium | Chimney(s) Type: Brick: | Location: Northeast |
| Limitations | | | | |
| Roof Inspected By: Walking On | Access Limited By: | Chimney Access Limited By: | | |

Observations/Recommendations

Sloped Surface: [overall surface in good repair](#)
[requires repairs around vents and repair hole](#)



Chimney(s): [overall in good repair](#)



[Note: Recommend Annual Maintenance Contract for Roof Surface, Flashing Details and Chimney\(s\)](#)

Description

| | | | |
|------------------------------------|----------------------------------------------|--------------------------------------------|-----------------------------------------------------------------------------------------|
| Gutters & Downspouts: Aluminum: | Downspout(s) Discharge: Below/Above Grade | Lot Topography: Flat Away From House | Walls & Wall Structures: Brick Wood siding Metal Siding Wood Retaining Wall |
|------------------------------------|----------------------------------------------|--------------------------------------------|-----------------------------------------------------------------------------------------|

Limitations

Exterior Inspection from Ground Level
Garage Not Accessible

Observations/Recommendations

****Gutters/Downspouts:** requires maintenance

WALL SURFACES:

Brick: overall in good repair

Metal Siding: overall in good repair

DOORS/WINDOWS: overall in good repair, replace older shingles at rear bay

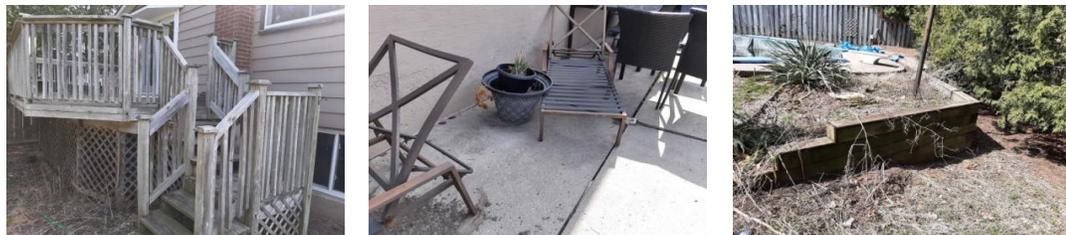
Wood siding: ongoing maintenance



DECK: older, ongoing repairs though likely more cost effective to replace

****Walk(s):** front entrance -requires repairs, trip hazard, backyard - slopes towards house seal gap along wall and budget to repair

RETAINING WALL: monitor/repair as required and budget to replace



****Landscaping:** northeast backyard has municipal storm water catch basin, contact city for servicing and monitor



Note: Maintain Gutters & Downspouts annually. Extend Downspouts at least 6-feet away from the house

**** Any or all these items may contribute to Basement Leakage. Please see Interior Form**

Description

| | | | | |
|-----------------------------|---------------------------------|------------------------|------------------------------------------------------------|---------------------------------------|
| Configuration: Basement: | Foundations: Poured Concrete | Floor : Wood Joists | Walls : Wood Frame(Brick Veneer) Wood Frame (Siding) | Roof/Ceiling Framing: Wood Trusses |
|-----------------------------|---------------------------------|------------------------|------------------------------------------------------------|---------------------------------------|

Limitations

| | |
|-------------------------------------|------------------------------------------------------------------------------------|
| Restricted Access to: Wall Space | Foundation Wall Not Visible: <u>80</u> % Roof Space Inspected From Access Hatch |
|-------------------------------------|------------------------------------------------------------------------------------|

Observations/Recommendations

overall well built house

FOUNDATIONS: typical settlement cracks



ROOF: overall in good repair
see Roofing Page



Description

| | | |
|-----------------------------------------|--------------------------------------|-----------------------------------|
| Service Size: 200 AMP (240volts) | Service Entrance Cable: | Distribution Wire: |
| Main Disconnect/Service Box | Location: Underground | Copper |
| Rating: 200 AMP | Type of material: Not Visible | Aluminum |
| Description: Breakers | | Grounded |
| Location: Basement | | |
| Distribution Panel | System Grounding: | |
| Rating: 200 AMP | Description: Copper | |
| Description: Breakers | Location: Water Pipe | Ground Fault Circuit Interrupter: |
| Location: Basement | | Location: Kitchen |
| Auxiliary Panel(s): | Outlets | |
| Rating: 100 AMP | Description: Grounded | |
| Description: Breakers | Number of Outlets: Typical | Arc Fault Circuit Interrupter: |
| Location: Basement | | Location: |

Limitations

Main Disconnect Cover Not Removed

Observations/Recommendations

SERVICE PANEL: **overall in good repair**

Auxiliary Panel: **installed for pool - not inspected - inspect with pool**



BRANCH WIRING:

Aluminum: **recommend inspection by qualified electrician for maintenance of connections and installation of aluminum rated outlets typically requires ESA (Electrical Safety Authority) certificate for insurance**

GFCI: **provide to exterior outlet
replace kitchen unit
provide to washroom outlet**

Note 1: All recommendations are safety issues - Treat them as high priority.

Note 2: Please ensure accurate labelling on panels.

REFERENCE LINK http://redbrickinspections.ca/docs/6_Heating_Reference_Guide.pdf

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HEATING

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Description

| | | | | | | |
|---------------------|-------------|----------------|--------------|------------------|-------|----------------|
| Description: | Efficiency: | Rated Input: | Approx. Age: | Life Expectancy: | Fuel: | Shut Off at: |
| Forced Air Furnace: | High | 75 x1000BTU/hr | 20 yrs. | 20+ yrs. | Gas | Meter-Exterior |

Exhaust Vent Arrangement: [Plastic Through-Wall Vent](#)

Limitations

[Heat Loss Calculations Not Done](#)
[Heat Exchanger- Inaccessible](#)

Furnace Performance

| | |
|----------------|-----|
| Supply Temp F: | 110 |
| Return Temp F: | 70 |

Observations/Recommendations

FORCED AIR FURNACE: [continue servicing until replacement becomes necessary](#)

Electronic Filter: [not in use - disconnect power](#)



REFERENCE LINK

http://redbrickinspections.ca/docs/7_AC_Heat_Pump_Reference_Guide.pdf

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COOLING/Heat Pumps

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Description

| | | | |
|-------------------------------|-------------------|--------------|--------------------------|
| Description: | Cooling Capacity: | Approx. Age: | Typical Life Expectancy: |
| Air Conditioner (air-cooled): | 24 x1,000 BTU/hr | 20 yrs. old | 15 to 20 yrs. |

Limitations

Cooling Performance

Supply Temp F:
Return Temp F:

Observations/Recommendations

AIR CONDITIONER: **not tested: should be serviced before using old unit, continue servicing until replacement becomes necessary**



Description

| Material: | Location | R-Value | Air/Vapour Barrier: | Venting: |
|-------------|-----------------|---------|---------------------|----------|
| Fiberglass: | Main Roof: | 32 | Plastic | Roof |
| Fiberglass: | Basement Walls: | 12 | Kraft Paper | |

Limitations

Roof Space Inspected from Access Hatch
 Access Not Gained To Wall Space

Observations/Recommendations

ROOF SPACE: insulation and ventilation is adequate



Basement Walls: furnace room: general repairs



Note: adding insulation is considered an improvement rather than a repair

R-values are estimated

Description

| | | |
|------------------------------------------------------|----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Service Piping into House: Copper | Main Shut Off Valve at: Basement | Water Flow (Pressure): Good |
| Supply Piping & Pump(s): Copper | Waste Piping & Pump(s): Plastic Clay Floor Drain | Water Heater Type: Induced Draft Fuel Type: Gas Capacity: 40 Gal Age Yrs.: 20 Life Expectancy: 20 |

Limitations

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------|
| Isolating/Relief Valves & Main Shut Off Valves Not Tested | Concealed Plumbing not Inspected |
| Kitchen and Laundry Appliances Were Not Inspected | Tub/Sink Overflows Not Tested |

Observations/Recommendations

WATER HEATER: [old, contact utility to arrange replacement](#)

SUPPLY PIPING: [all piping examined was in good repair](#)

WASTE PIPING: [all piping examined was in good repair](#)
[basement: older leaking damage - repair wall damage, tested dry](#)
[older main drain, recommend video-scan, risk of tree roots](#)



Basement Washroom: [sink drain maintenance](#)

2nd Level Washroom: [overall in good repair](#)
[older bathtub/enclosure](#)

Kitchen(s) [faucet above stove leaking- repair](#)

| | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------|--------------------------------|-----------------------|
| REFERENCE LINK | http://redbrickinspections.ca/docs/10_Interior_Reference_Guide.pdf | | | |
| 18 Captain Rolph Blvd | INTERIOR | | | Apr 6 2021 |
| Description | | | | |
| Floor Finishes: | Wall Finishes: | Ceiling Finishes: | Windows: | Exterior Doors: |
| Wood | Drywall | Drywall | Double Glazing | Metal |
| Ceramic Tile | Paneling | | Casement | |
| Carpet | | | | |
| Fireplaces: | Fireplace Fuel: | | | |
| Insert | Gas | | | |
| Limitations | | | | |
| Restricted/No Access To: _____ | | Foundation Not Visible <u>80</u> % | | |
| CO Detectors, Security Systems, Central Vacuum, Chimney Flues Not Inspected | | Drainage Tile Not Visible | | |
| Observations/Recommendations | | | | |
| <p>Walls: minor typical cracks</p> <p>Floors/Walls/Ceilings: cosmetic upgrades in some areas newer main level floors</p> <p>Trim/Cabinets/Counters: overall in good repair</p> <p>Windows/Doors: overall in good repair screen door repairs</p> <p>FIREPLACE: requires servicing/cleaning</p> <p>**Basement Leakage: presently no leaking detected with moisture meter random sampling see steps below</p> | | | | |
| <p>CO/Smoke detectors: please ensure one per level each with annual maintenance, this is a life safety concern and mandatory by law</p> <p>** Steps recommended in order to minimize basement leakage</p> <ol style="list-style-type: none"> gutters, downspouts, grading, driveways: ongoing maintenance and repair/see Exterior cracks/form ties on foundation: monitor/repair as required excavation/damp-proofing: monitor basement, consider step 3 as a last resort <p>Environmental/Health Concerns: http://redbrickinspections.ca/docs/11_Environmental_Reference_Guide.pdf</p> | | | | |



Bob Papadopoulos P Eng, RHI

- **Over 20 years of building inspecting experience in Toronto and the GTA**
- **Over 6,000 residential and commercial buildings inspected**

Bob has inspected over 6,000 residential and commercial buildings of various descriptions and reporting on conditions of major systems including structure, building envelope and mechanical systems, specific problem investigations and pre-renovation inspections. In the past Bob has helped train Home Inspectors and assisted in the creation of educational courses on home inspecting as well as taught Home Inspection courses at Seneca College. Bob also has experience in the construction industry inspecting many large scale projects through-out the GTA. He also served in the Canadian Navy as a Marine Mechanic and Ships Team Diver.

Professional Designations

- P.Eng. (Professional Engineer of Ontario) <http://www.peo.on.ca/>
 - RHI Registered Home Inspector <http://www.oahi.com/>
 - Environmental Site Assessment: ESA Phase 1 Certified <http://aesac.ca/>
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